



**FOR LEASE**  
**2333 MCCALL STREET**

**357,075 SF**  
**DAYTON, OH**

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**PHOENIX**  
**LOGISTICS**

*Strategic Real Estate. Applied Technology. Tailored Service.*

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# PROPERTY HIGHLIGHTS



**RENOVATED IN 2023**



**BUILDING EXPANSION  
POTENTIAL**



**2.5 MILES TO I-75 CORRIDOR**



**OUTDOOR STORAGE  
POTENTIAL**



# PROPERTY DETAILS

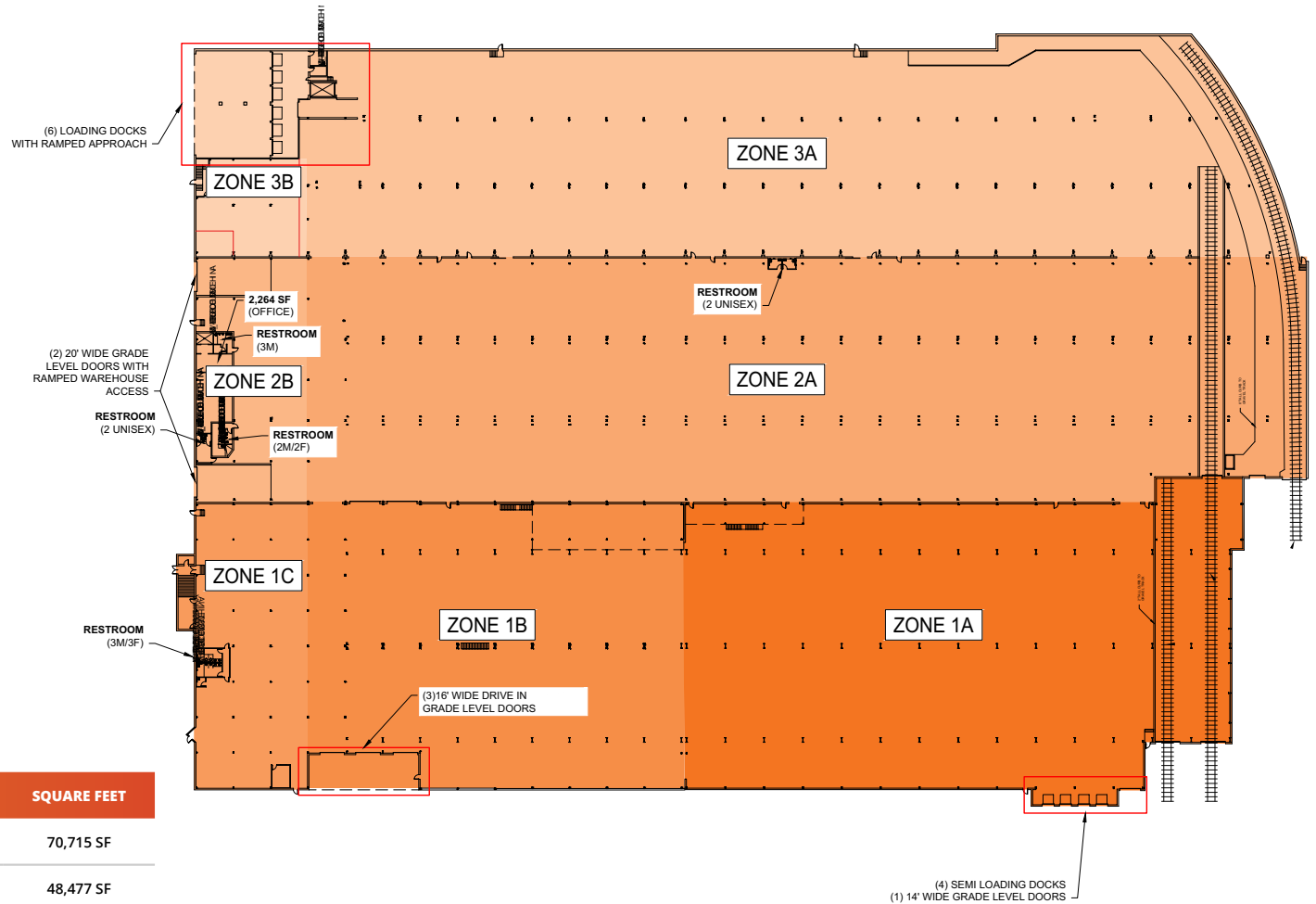
2333 MCCALL STREET | DAYTON, OH

AVAILABLE SPACE	357,075 SF (Available 1/1/2027)
MINIMUM DIVISIBLE	150,000 SF
DOCK DOORS	10
DRIVE-IN DOORS	6
CLEAR HEIGHT	26' 2" - 33' 5"
COLUMN WIDTH/DEPTH	26' x 63'   26' x 48'   26' x 42'
ROOF	TPO
WALLS	Concrete Block & Insulated Metal
FLOORS	6" - 10" Reinforced Concrete
YEAR BUILT	1960
YEAR RENOVATED	2023
FIRE SUPPRESSION	100% ESFR
PARKING	78+ Spaces
POWER	480 Volt 3-phase, 1,200 Amps
LAND AREA	22 Acres
ZONING	I-1 Industrial
RAIL	Potential via CSX
PARCEL ID	R72-09107-0066
<b>OPEX ESTIMATE</b>	<b>\$0.83/SF</b>



# FLOOR PLAN

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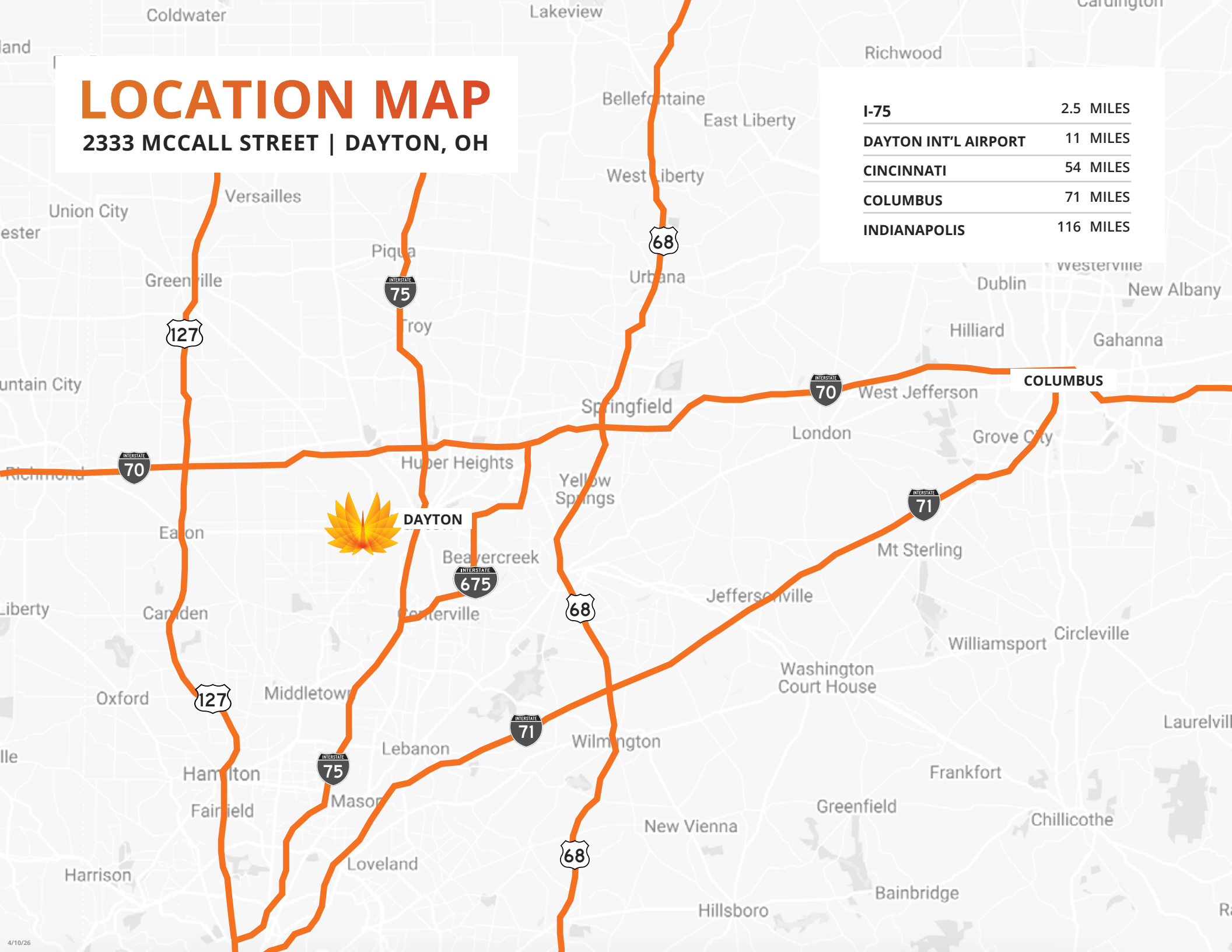
NUMBER	CLEAR HEIGHT	COLUMN SPACING	SQUARE FEET
ZONE 1A	26' 2" - 34' 2"	26' x 63'	70,715 SF
ZONE 1B	30' 8" - 33' 5"	26' x 63'	48,477 SF
ZONE 1C	12'	26' x 63'	15,284 SF
ZONE 2A	30' 8" - 33' 2"	26' x 48'	108,690 SF
ZONE 2B	12'	26' x 48'	12,570 SF
ZONE 3A	34' 2"	26' x 42'	90,919 SF
ZONE 3B	12'	26' x 42'	10,419 SF
<b>TOTAL</b>			<b>357,075 SF</b>

# LOCATION MAP

2333 MCCALL STREET | DAYTON, OH

Richwood

<b>I-75</b>	2.5 MILES
<b>DAYTON INT'L AIRPORT</b>	11 MILES
<b>CINCINNATI</b>	54 MILES
<b>COLUMBUS</b>	71 MILES
<b>INDIANAPOLIS</b>	116 MILES



**DAYTON**

**COLUMBUS**